









EXISTING FEATURES

- | | |
|--|---------------------------------|
| | TELECOMMUNICATION MANHOLE |
| | WATER MANHOLE |
| | ELECTRICAL MANHOLE |
| | SANITARY MANHOLE |
| | CITY INLET |
| | FIRE HYDRANT |
| | WATER VALVE |
| | UTILITY POLE |
| | SIGN |
| | LIGHT STANDARD |
| | DRILL HOLE |
| | SANITARY SEWER |
| | STORM SEWER |
| | UNDERGROUND WATER LINE |
| | UNDERGROUND GAS LINE |
| | UNDERGROUND ELECTRIC LINE |
| | OVERHEAD AERIAL LINE |
| | FENCE LINE |
| | EXISTING BUILDINGS |
| | ZONE BOUNDARY LINE |
| | BENCHMARK |
| | SLOPES > 25% |
| | SLOPES 15% - 25% |
| | IRON PIN FOUND |
| | MONUMENT FOUND |
| | POINT OF BEGINNING / LOT CORNER |
| | STREET TOPOGRAPH LOCATION |

- | | | |
|---|---|------------------------|
|  |  | FEATURE TO BE REMOVED |
|  | | PROPERTY BOUNDARY LINE |
|  | | CITY LINE |
|  | | CURB LINE |
|  | | WALL |
|  |  | TREE |

1. Boundary and Location Information is based on a field survey performed by ASH Associates: 420 W Mermaid surveyed on August 31, 2021.
7504 Saint Martins surveyed on May 17, 2022.
ASH Associates, Inc.
765 Tennis Avenue
Ambler, PA 19002
215-367-5251
ashassociates.net
2. Tree Survey performed by Ruggiero Plante Land Design on March 27, 2023.
3. Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet. Boundary information shown is calculated from field surveyed boundary corner evidence, plans and Deeds of record.
4. The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
5. 420 W Mermaid Site Benchmark: Magnetic spike set in asphalt as shown.
Elevation: 311.65
7504 Saint Martins Site Benchmark: Magnetic spike set in asphalt as shown.
Elevation: 293.14
6. Right-of-way lines shown per City Plan No. 149, confirmed by the Board of Surveyors on 11-19-1962. Horizontal Datum based on the Pennsylvania State Plane Coordinate System, NAD83. Vertical Datum based on City Datum: Elevation shown per City Plan.
7. This plan was made as per instructions of the applicant and without the benefit of a title report.
8. FEMA FIRIM map #4207570087Q map revised January 17, 2007 designates the site as Zone X, areas outside the 500 yr. floodplain and a portion shown hereon within Other Flood Areas (Zone X), areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot in within drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
9. Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources. Building dimensions are exterior and may include covered entrances and ornamental facades.
10. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction. There is no visible evidence of the site being used as a solid waste dump or landfill.
11. Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
12. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
13. This survey does not address the presence or absence of freshwater wetlands, environmental hazards or archaeological sites that may exist on site.
14. Reference Plans:
A. Compiled City Plan #149 dated 11-19-1962
B. Survey of City Plan No. 149 of Towanda Street from Mermaid Lane to Moreland Avenue, Confirmed by Board of Surveyors March 16, 1970 (P-24-261),

1. See Landscape Preservation Plan and Landscape Replacement Plan for more information regarding existing site tree preservation and replacement.



The property lies within the
Wissahickon Creek Watershed.

DATE CONTACTED: November 17, 2022
SERIAL NUMBER: 20223210624

COMPANY: COMCAST
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: ROBERT HARVEY
EMAIL: bob_harvey@cable.comcast.com

COMPANY: POCO ENERGY c/o USIC
ADDRESS: 450 S HENDERSON RD, SUITE E
KING OF PRUSSIA, PA 19406
CONTACT: NAKKIA SIMPKINS
EMAIL: nikkiasimpkins@usicinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA , PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

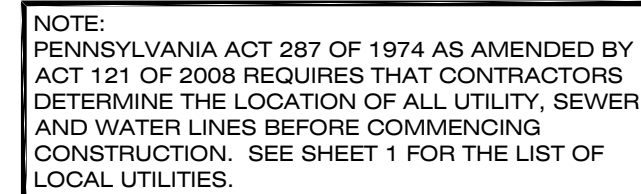
COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: PAT O'DONELL
EMAIL: maureen.wagari@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA , PA 19122
CONTACT: MICHAEL PARZANESE
EMAIL: michael.parzanese@pgworks.com

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTVYDAS
EMAIL: dmontvydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 1050 VIRGINIA DR
FORT WASHINGTON PA, 19034
CONTACT: DEBORAH BARUM
EMAIL: laura.m.lippincotte@one.verizon.com

420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See 'prepared for'

[illegible]

prepared for:
Dane & Meredith Jensen
420 W Mermaid Lane
Philadelphia, PA 19118
daneajensen@gmail.com
(717) 880-1323


DAVID J. PLANTE, Professional Engineer



Ruggiero Plante Land Design
 5900 Ridge Avenue Philadelphia, PA 19128
 phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date: July 5, 2023

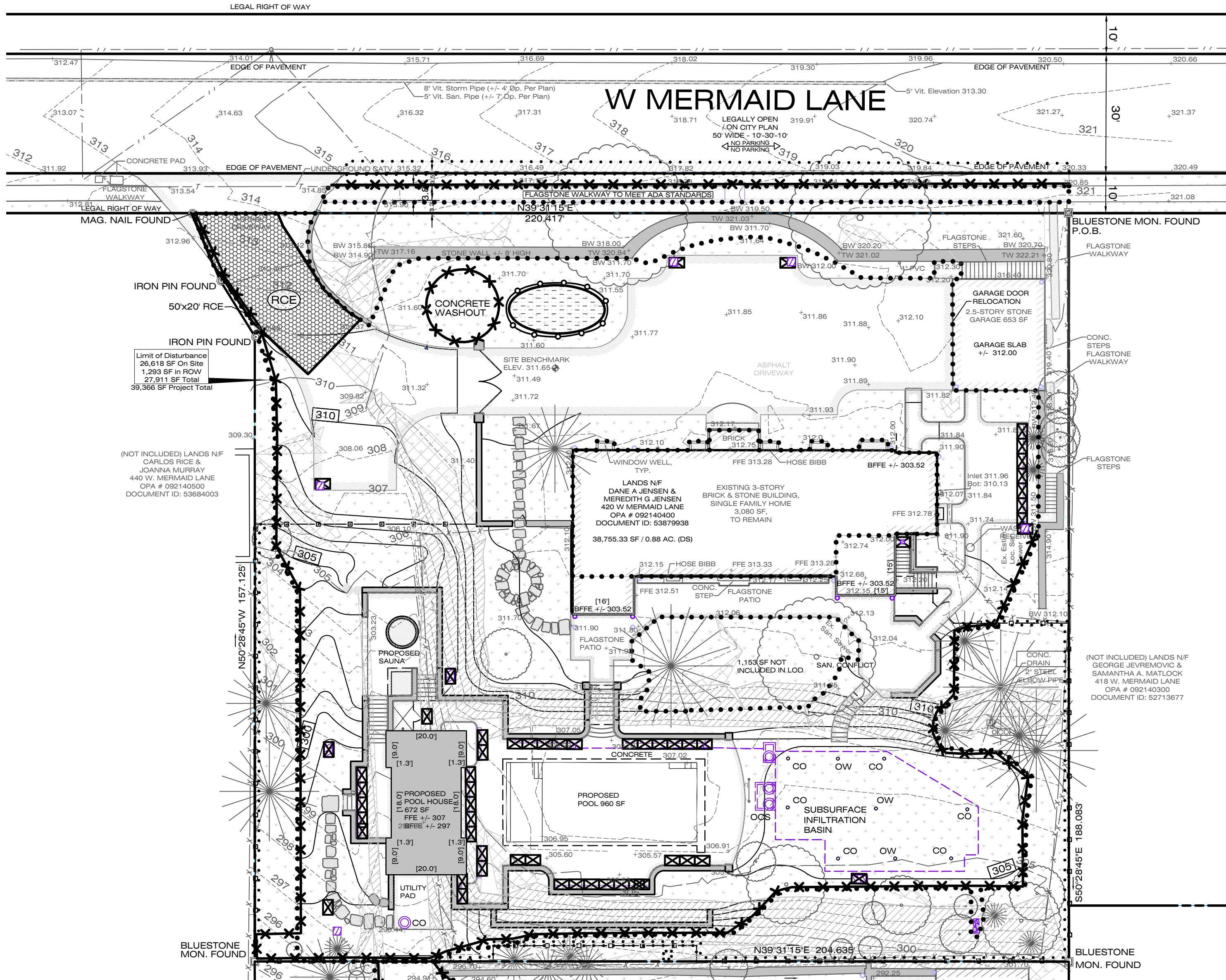
Scale: 1" = 20'-0"



A horizontal scale bar with three segments. The first segment is labeled '20'', the second '10'', and the third '0'.

Set Title:
ZONING
Sheet Title:
EXISTING FEATURES PLAN
Sheet 1 of 5





PWD STANDARD EROSION CONTROL NOTES

1. An Industrial Waste Permit will be required should pumping to City-owned infrastructure become necessary during construction. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
2. Inlet protection should be provided for all inlets owned by PWD that are located within one block of the project site.
3. PWD is not responsible for any cleaning or repairs needed on City-owned infrastructure due to failure of any erosion and sediment control practices. (Owner will be responsible.)
4. Inspection and maintenance of all erosion and sediment control best management practices shall occur on a weekly basis, before any anticipated precipitation events, and after all precipitation events.
5. The maximum height for stockpiles areas shall be 20 feet. The maximum side slope for stockpile areas shall not exceed 2:1.
6. The rock construction entrance thickness shall be constantly maintained on-site. A stockpile shall be maintained on-site for this purpose. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
7. Fabric filter fence should be installed at level grade. Both ends of each fence section should be extended at least 8 feet upslope at 45 degrees to main barrier alignment. Support stakes shall be spaced at a maximum of 8 feet. Sediment must be removed when accumulations reach 1/2 the above ground height of the filter fence.
8. Any fence section which as been undermined or topped must be immediately replaced with a rock filter outlet. Sediment must be removed when accumulations reach 1/3 the height of each outlet.
9. Erosion control blanketing shall be installed on slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas specified on the plan maps and/or detail sheets.
10. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify PWD and PA DEP.
11. Until the site is stabilized, all E&S BMPs shall be maintained properly. Maintenance shall include inspections of all E&S BMPs prior to any anticipated storm event, after each runoff event and on a weekly basis. All preventive and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, re-mulching, and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed, will be required.
12. All earth disturbances, including clearing and grubbing, as well as cuts and fills, shall be done in accordance with the approved E&S Plan. A copy of the approved drawings must be available at the project site at all times. PWD shall be notified of any changes to the approved plan prior to implementing of those changes. PWD may require a written submittal of those changes for review and approval at its discretion.
13. At least three (3) days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
14. All earth disturbance activities shall proceed in accordance with the plan drawings and the PA DEP prior to implementation.
15. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots, and other objectionable material.
16. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing, and topsoil stripping may not commence in any stage of the project until the E&S BMPs specified by the BMP sequence for that stage have been installed and are functioning as described in this E&S Plan.
17. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
18. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and made available to PWD at the time of inspection.

19. All sediment removed from BMPs shall be disposed of in the following manner: move to stockpile area on site.
20. Areas which are to be topsoiled shall be scarified to a minimum depth of three to five inches - six to twelve inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum four inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of two inches of topsoil.
21. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence, or other related problems. Fill intended to support buildings, structures, and conduits, etc. shall be compacted in accordance with local requirements or codes.
22. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
23. Fill materials shall be free of frozen particles, brush, roots, sods, or other foreign or objectionable material that would interfere with or prevent construction of satisfactory fills.
24. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
25. Fill shall not be placed on saturated or frozen surfaces.
26. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for surface drain or other approved method.
27. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
28. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within one year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within one year shall be stabilized in accordance with permanent stabilization specifications.
29. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
30. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by PWD and PA DEP.
31. After final site stabilization has been achieved, temporary E&S BMPs must be removed or converted to permanent post-construction stormwater management practices. Areas disturbed during removal or conversion of the E&S BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
32. Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to plug the basin/trap outlet structures and/or pollute the surface waters. (when applicable)
33. During construction, the selected contractor is expected to follow the PCSPM approved by PWD. No change or deviation from the Approved PCSPM/P is permitted without prior approval from PWD.
34. All work associated with PWD water conveyance and sewer infrastructure shall be done in accordance with the City of Philadelphia Water Department "Water Main Standard Details and Corrosion Control Specifications", 1985 edition, and "Standard Details and Standard Specifications for Sewers", 1985 edition.
35. Contact PWD Water Transport Records (1101 Market Street, 2nd Floor, Phone: 215-685-6271) for additional approvals and permits required for all water services, meters, and connections to the existing and/or proposed PWD facilities.
36. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the PA DEP's Solid Waste Management Regulations at 25 PA Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.

CONSTRUCTION SEQUENCE

PRIOR TO CONSTRUCTION COMMENCING CONTACT PWD AND PA DEP (484-250-5159) TO SCHEDULE A PRE-CONSTRUCTION MEETING. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

1. INSTALL ROCK CONSTRUCTION ENTRANCE. INSTALL SILT FENCE & INLET FILTERS IN ADJOINING STREETS. ERECT CONSTRUCTION FENCING AROUND UNDERGROUND INFILTRATION BASIN AND SIDEWALK AS SHOWN ON THE PLAN.
2. BEGIN DEMOLITION OF EXISTING FEATURES, PAVEMENT & UTILITIES.
3. ROUGH GRADE SITE. BEGIN EXCAVATION FOR BUILDING FOUNDATIONS AND RETAINING WALLS.
4. BEGIN INSTALLATION OF UNDERGROUND UTILITIES. INSTALL INLET FILTERS IMMEDIATELY UPON CONSTRUCTION OF EACH INLET.
NOTE: WHERE UTILITIES MUST BE INSTALLED UNDER AN EXISTING RCE, A TEMPORARY RCE SHALL BE CONSTRUCTED IN AN AREA OUTSIDE OF THE UTILITY INSTALLATION.
5. **CRITICAL STAGE 1: PLEASE ENSURE A LICENSED PROFESSIONAL OR DESIGNEE IS PRESENT ON SITE. CONTRACTOR SHALL DOCUMENT ALL INFORMATION AND MEASUREMENTS REQUIRED IN THE SMP CONSTRUCTION CERTIFICATION FORM FOR THE SMP.**
BEGIN CONSTRUCTION OF UNDERGROUND INFILTRATION BASIN, INSTALL STORAGE PIPING, AND PLACE STONE TO FINAL SUB-GRADE.
6. COMPLETE UNDERGROUND UTILITY INSTALLATION.
7. BEGIN CURB AND ENTRANCE CONSTRUCTION. INSTALL SOUND TUBES AND FOOTINGS FOR LIGHT FIXTURES AND FENCING.
8. PLACE STONE FOR DRIVEWAY & PARKING AREAS.
9. BEGIN DRIVEWAY/SIDEWALK INSTALLATION.
10. PLACE BITUMINOUS BINDER COURSE ON DRIVEWAY & PARKING AREAS.
11. INSTALL LIGHT FIXTURES, FENCING, ETC.
12. PLACE TOPSOIL AND INSTALL LANDSCAPING. INSTALL PERMANENT MULCH.
13. PERFORM FINAL SITE CLEANUP AND REMOVE ANY REMAINING EROSION CONTROL FACILITIES.

PWD SEQUENCE OF CONSTRUCTION NOTES

1. At least seven (7) days prior to any earth disturbance, the Inspections Coordinator of PWD (Office: 215-685-6387) must be called to schedule a preconstruction meeting. (PWD Table E-6 Note 1)
2. At least three (3) days prior to the Permeable Pavers & Green Roof, the Inspections Coordinator of PWD (Office: 215-685-6387) must be called to schedule an inspection for the aforementioned SMPs. (PWD Table E-6 Note 2)
3. All stone that makes up the Permeable Paver storage area must remain free of sediment. If sediment enters the stone, the contractor may be required to remove the sediment and replace it with clean-washed stone. (PWD Table E-6 Note 3)
4. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact Inspections Coordinator of PWD (Office: 215-685-6387) for a final inspection prior to removal/conversion of the E&S BMPs. (PWD Table E-6 Note 4)
5. As soon as slopes, channels, ditches, and other disturbed areas reach final grade, they must be stabilized. Cession of activity for four (4) days or longer requires temporary stabilization. (PWD Table E-6 Note 5)
6. The NPDES notice of Termination (NOT) must be submitted to PADEP upon completion of construction. (PWD Table E-6 Note 6)
7. Water pumped from work areas should be treated for sediment removal prior to discharging to a 'surface water'. (PWD Table E-6 Note 7)

MANAGEMENT OF FILL

Fill material will be reused on-site. Applicant will perform environmental due diligence to determine the condition of the fill material as per PA DEP Bureau of Land Recycling and Waste Management.

Clean Fill - Uncontaminated, Non-Water-Soluble, Non-Decomposable inert solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and recognizable as such. (25 pa. code section 287.1, 271.1) The term does not include materials placed in or on the water of the commonwealth unless otherwise authorized.

Environmental Due Diligence - Investigative techniques including, but not limited to, visual property inspections, electronic data base searches, review of ownership and use history of property, sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments and audits.

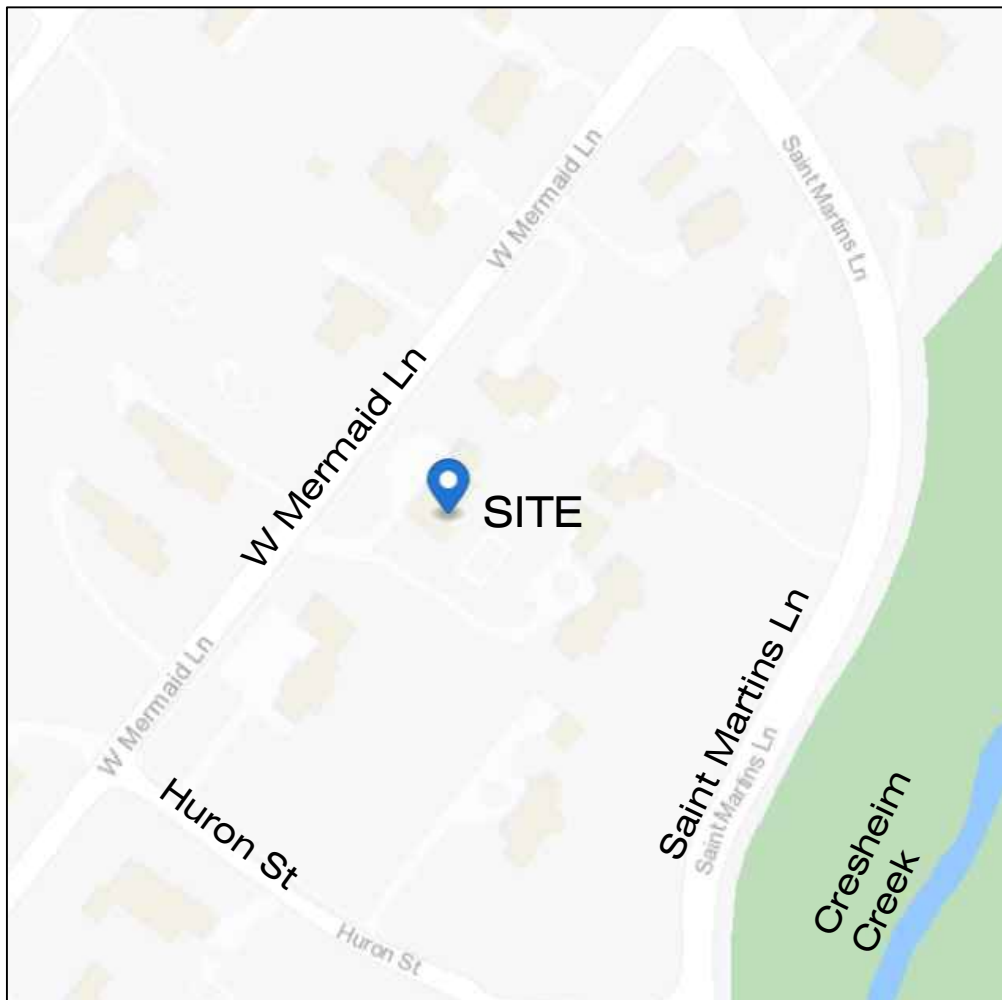
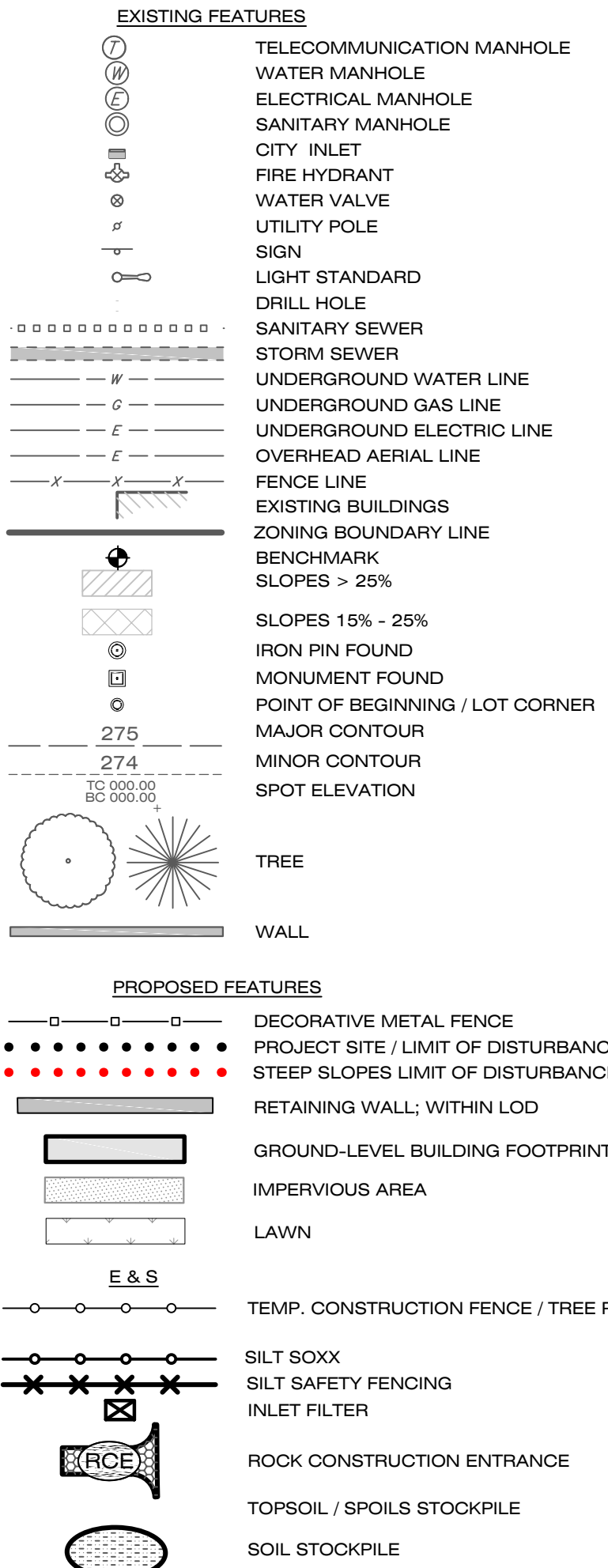
MAINTENANCE AND OPERATION

1. Measures shall be taken to ensure that all stormwater runoff from unstabilized areas on-site will not enter the infiltration systems during the construction process.
2. The owner shall be responsible for long-term operation & maintenance activities for all of the stormwater BMPs.
3. Consult the Operation & Maintenance Manual prepared for this project for all of the short-term and long-term maintenance requirements for the underground systems.

NOTES

1. Boundary and Location information is based on a field survey performed by ASH Associates: 420 W Mermaid surveyed on August 31, 2021. 7504 Saint Martins surveyed on May 17, 2022. ASH Associates, Inc. 765 Tennis Avenue Ambler, PA 19002 215-367-5251 ashassociates.net
2. Tree Survey performed by Ruggiero Plante Land Design on March 27, 2023.
3. Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet. Boundary information shown is calculated from field surveyed boundary corner evidence, plans and Deeds of record.
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6. Right-of-way widths shown per City Plan No. 149, confirmed by the Board of Surveyors on 11-19-1962. Horizontal Datum based on the Pennsylvania State Plane Coordinate System, NAD83. Vertical Datum based on City Datum. Elevations shown per City Plan.
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8. FEMA FIRM map #4207570087G map revised January 17, 2007 designates the site as Zone X₁ areas outside the 500 yr. floodplain and a portion shown hereon within Other Flood Areas (Zone X₁) areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot in within drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
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12. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
13. This survey does not address the presence or absence of freshwater wetlands, environmental hazards or archaeological sites that may exist on site.
14. Reference Plans:
A. Compiled City Plan #149 dated 11-19-1962
B. Striking from City Plan No. 149 of Towanda Street from Mermaid Lane to Moreland Avenue, Confirmed by Board of Surveyors March 16, 1970 (P-24-261).

LEGEND



LOCATION MAP

The property lies within the Wissahickon Creek Watershed.

UTILITY OWNERS

DATE CONTACTED: November 17, 2022
SERIAL NUMBER: 20223210624

COMPANY: COMCAST
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: ROBERT HARVEY
EMAIL: bob.harvey@cable.comcast.com

COMPANY: POCO ENERGY c/o USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19406
CONTACT: NAKKIA SIMPKINS
EMAIL: nikiasimpkins@usicinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

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ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: PAT O'DONELL
EMAIL: maureen.wagner@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: MICHAEL PARZANESE
EMAIL: michael.parzanese@pgworks.com

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTYDAS
EMAIL: dmontydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 1050 VIRGINIA DR
FORT WASHINGTON PA, 19034
CONTACT: DEBORAH SARUM
EMAIL: laura.m.lippincotte@one.verizon.com

OWNER OF RECORD

420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See prepared for



NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS			
01	07-25-2023	PER ZONING REVIEW COMMENTS	
02	08-28-2023	PER ZONING REVIEW COMMENTS	

420 W MERMAID LANE
Philadelphia, PA 19118
9th Ward - OPA #092140400

prepared for:
Dane & Meredith Jensen
420 W Mermaid Lane
Philadelphia, PA 19118
daneajensen@gmail.com
(717) 880-1323

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date:

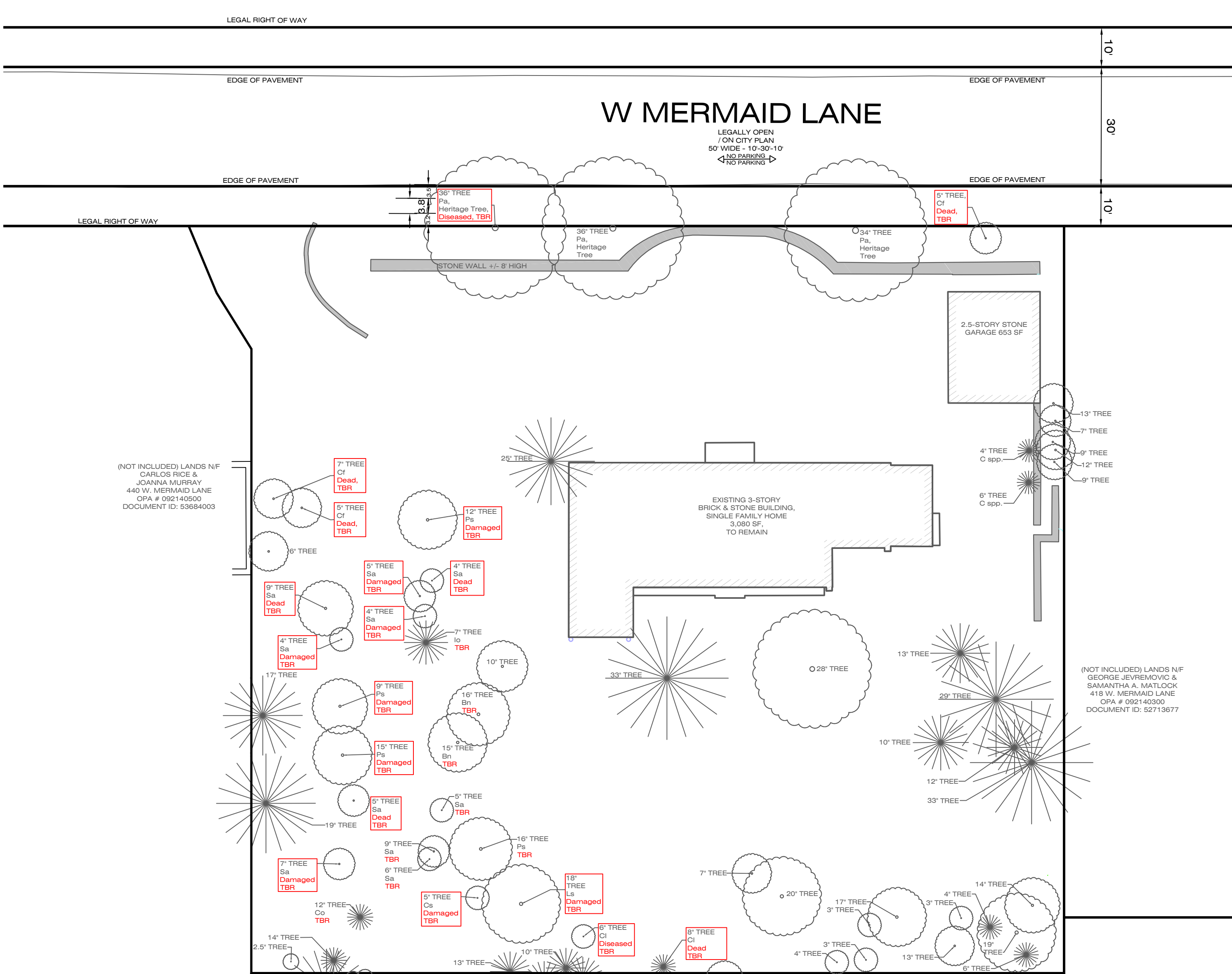
July 5, 2023

Set Title:
ZONING

Sheet Title:
EARTH MOVING PLAN
Sheet 3 of 5

Scale: 1" = 20'-0"





TREE REMOVAL AND REPLACEMENT CALCULATIONS
Per 14-705 of the Phila. Code

Trees Exempt from Replacement Requirements per 14-705(1)(g)(2)(a)-(c):

Code	Caliper (inches)	Scientific Name	Common Name	Code Met
Cf	5	<i>Cornus florida</i>	Flowering Dogwood	(a) Dead
Cf	5	<i>Cornus florida</i>	Flowering Dogwood	(a) Dead
Cf	7	<i>Cornus florida</i>	Flowering Dogwood	(a) Dead
Cl	6	<i>Cupressus x leylandii</i>	Leyland Cypress	(a) Diseased
Cl	8	<i>Cupressus x leylandii</i>	Leyland Cypress	(a) Dead
Cr	5	<i>Crataegus</i> sp.	Hawthorn	(a) Damaged
Ls	18	<i>Liquidambar styraciflua</i>	Sweet Gum	(a) Damaged
Po	36	<i>Platanus x acerifolia</i>	London Plane Tree	(a) Diseased and danger to property
Ps	9	<i>Prunus serotina</i>	Black Cherry	(a) Damaged
Ps	12	<i>Prunus serotina</i>	Black Cherry	(a) Damaged
Ps	15	<i>Prunus serotina</i>	Black Cherry	(a) Damaged
Sa	4	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	4	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	4	<i>Sassafras albidum</i>	Sassafras	(a) Dead
Sa	5	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	5	<i>Sassafras albidum</i>	Sassafras	(a) Dead
Sa	7	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	9	<i>Sassafras albidum</i>	Sassafras	(a) Dead
164" total				

Healthy Trees to be Removed and Replacement Required per 14-705(1)(g)(1):

Code	Caliper (inches)	Scientific Name	Common Name
Co	12	<i>Chamaecyparis obtusa</i>	Hinoki Cypress
Ps	16	<i>Prunus</i> sp.	Flowering Cherry Tree
Bn	15	<i>Betula nigra</i>	River Birch
Bn	16	<i>Betula nigra</i>	River Birch
Io	7	<i>Ilex opaca</i>	American Holly
Sa	5	<i>Sassafras albidum</i>	Sassafras
Sa	9	<i>Sassafras albidum</i>	Sassafras
Sa	6	<i>Sassafras albidum</i>	Sassafras
86" total			

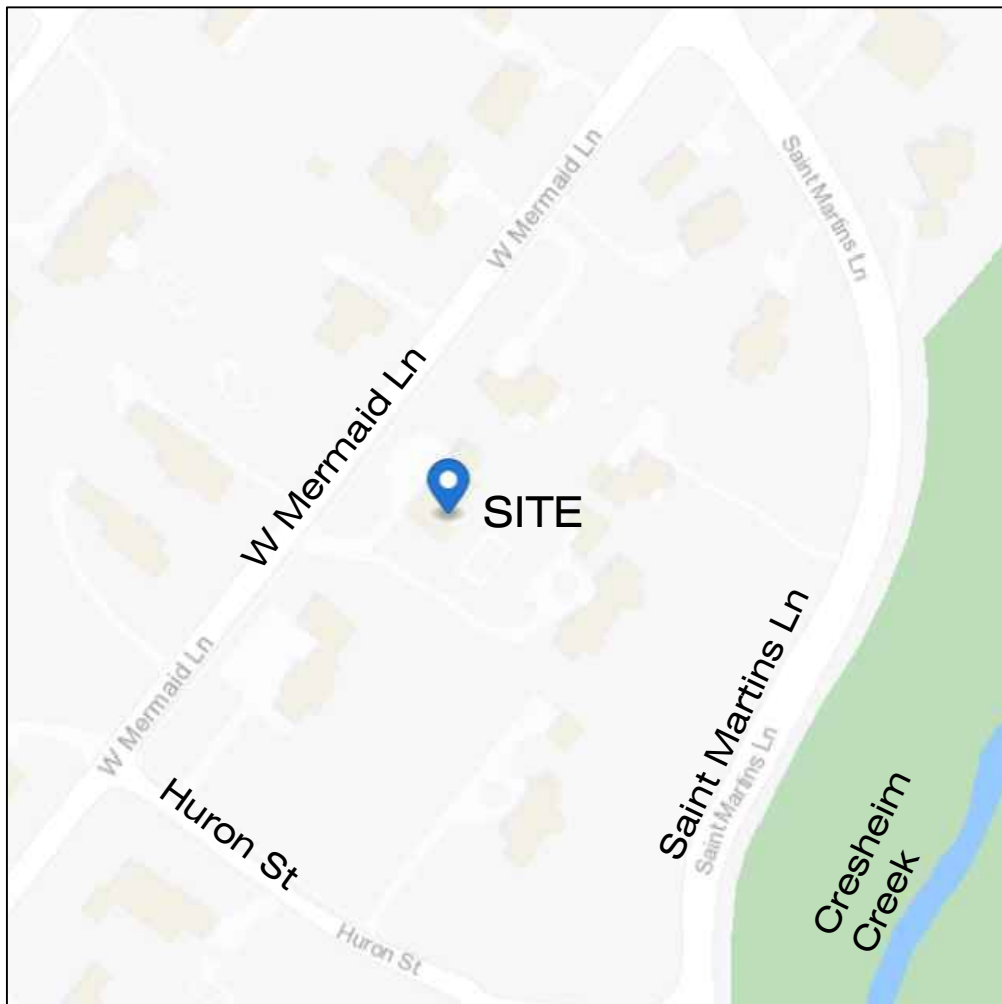
Existing Heritage Trees per 14-705(1)(f):

Code	Caliper (inches)	Scientific Name	Common Name	Notes
Po	34	<i>Platanus x acerifolia</i>	London Plane Tree	Along Mermaid Ln.
Po	36	<i>Platanus x acerifolia</i>	London Plane Tree	Along Mermaid Ln.
Po	36	<i>Platanus x acerifolia</i>	London Plane Tree	Along Mermaid Ln., (a.) Diseased and danger to property

Replacement Requirement per 14-705(1)(g):

TOTAL EXISTING EXEMPT TREE CALIPER INCHES ON SITE TO BE REMOVED = 164"
TOTAL EXISTING HEALTHY TREE CALIPER INCHES ON SITE TO BE REMOVED = 86"
TOTAL EXISTING TREES REQUIRED TO BE REPLACED = 86"

NOTES: 1. See Sheet 2 for Gross Floor Area Calculations
2. See corresponding Arborist Report by John B. Ward & Co. Arborists
3. See Sheet 5 for Landscape Replacement Plan

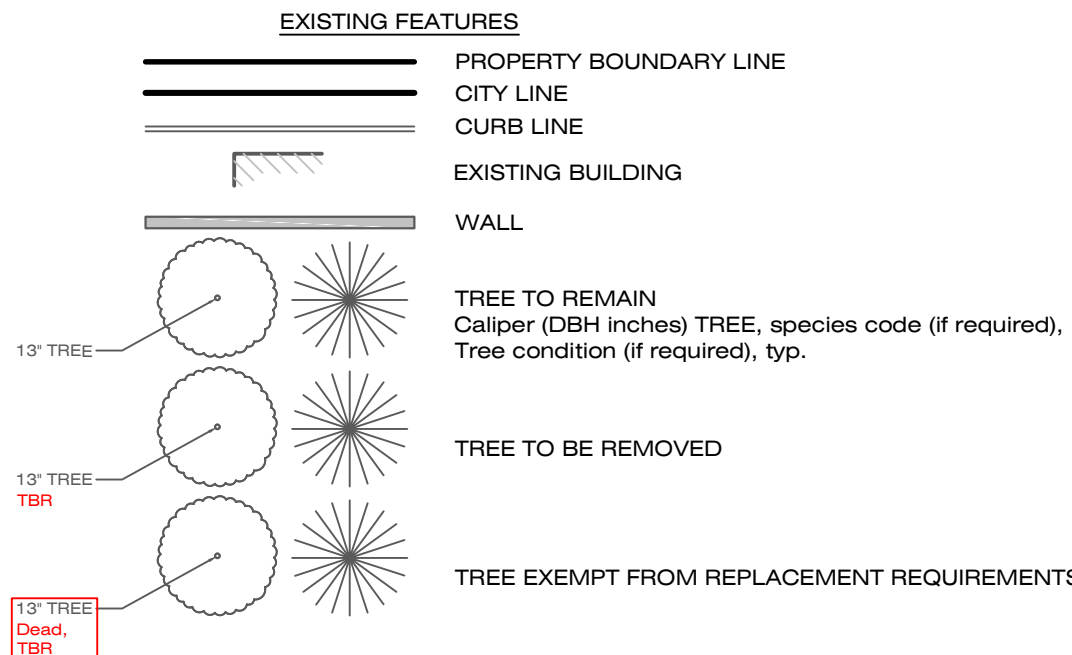


LOCATION MAP

N.T.S.

The property lies within the
Wissahickon Creek Watershed.

LEGEND



OWNER OF RECORD

420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See prepared for

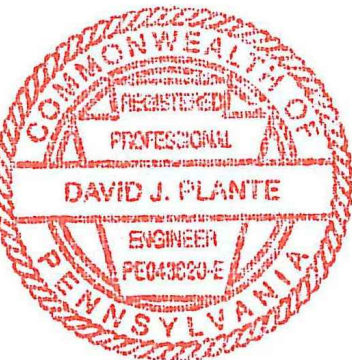


NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.


REVISIONS			
01	07-25-2023	PER ZONING REVIEW COMMENTS	
02	08-28-2023	PER ZONING REVIEW COMMENTS	

420 W MERMAID LANE
Philadelphia, PA 19118
9th Ward - OPA #092140400

prepared for:
Dane & Meredith Jensen
420 W Mermaid Lane
Philadelphia, PA 19118
daneajensen@gmail.com
(717) 880-1323



DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E



Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3900 www.ruggieroplante.com

Plan Date: July 5, 2023

Scale: 1" = 20'-0"

Set Title: ZONING

Sheet Title: LANDSCAPE PRESERVATION PLAN

Sheet 4 of 5

In accordance with the terms and provisions of Sections 14-603 (16) (d), 14-705 (1), and 14-803 (5) of the Philadelphia Code pertaining to

LANDSCAPE AND TREES

ON-SITE & PARKING LOT

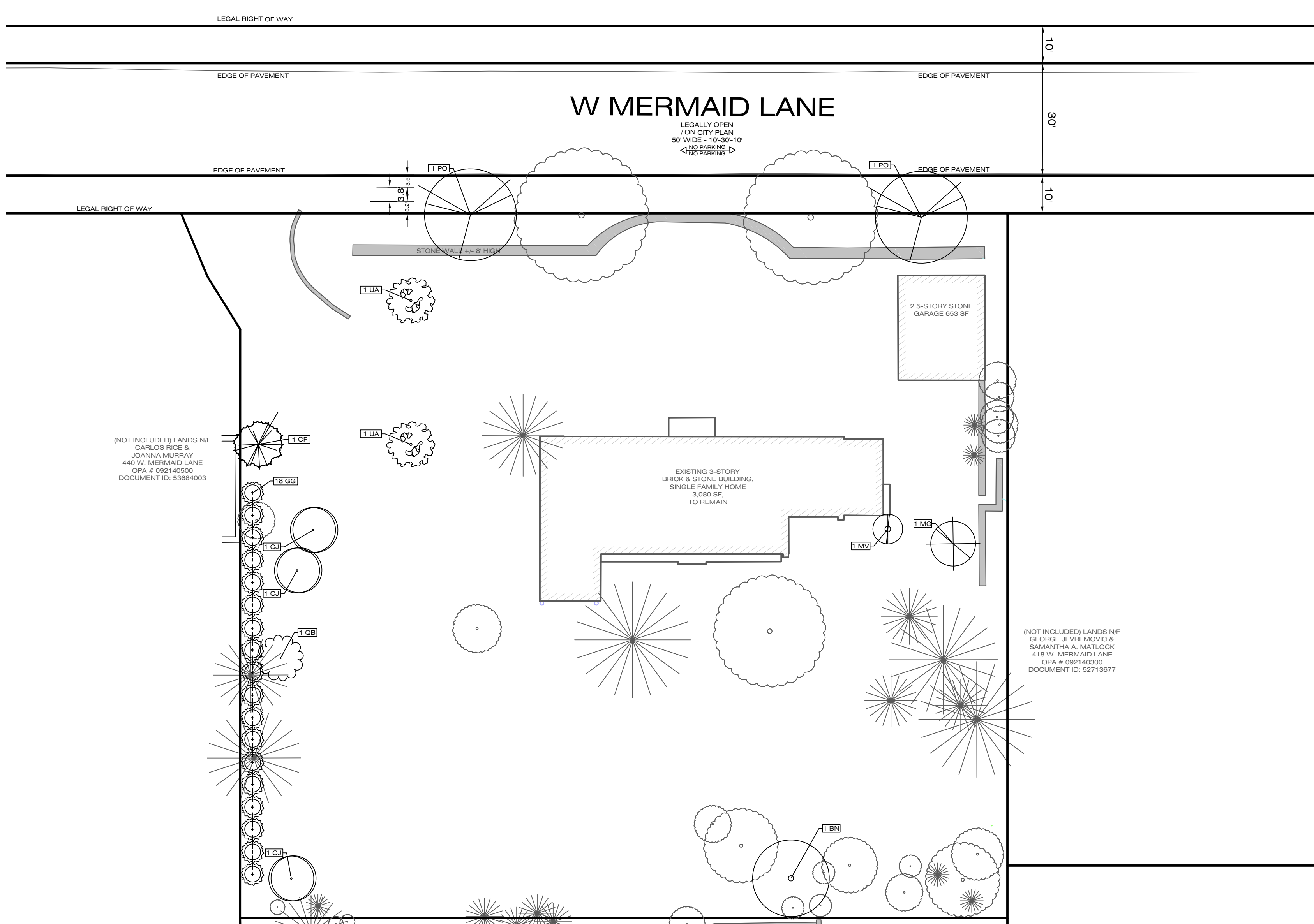
☒ APPROVED ☐ DISAPPROVED ☐ WAIVED ☐ IN-LIEU FEE \$ _____

WIRELESS TOWERS

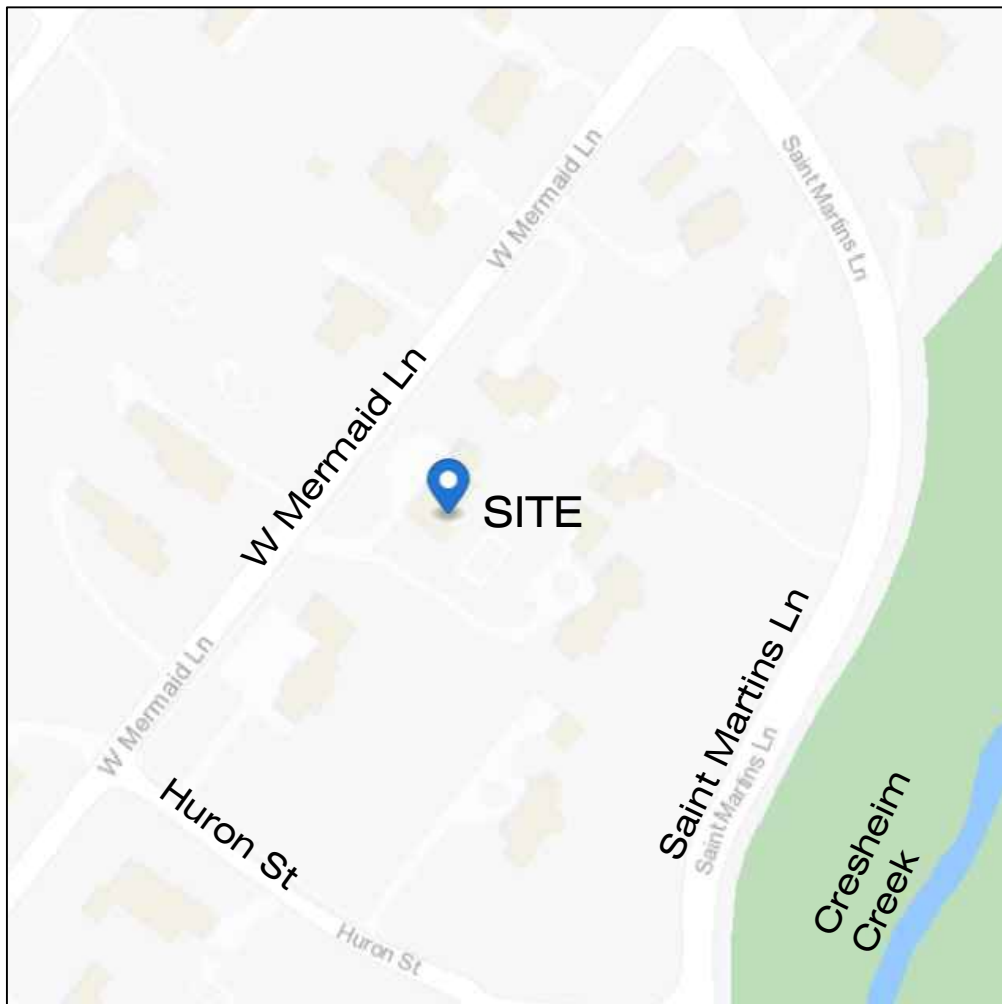
☐ APPROVED ☐ DISAPPROVED

Applied Electronically By: Ian Hegarty
August 29, 2023 Ledger No.: **E-4768**

Philadelphia City Planning Commission



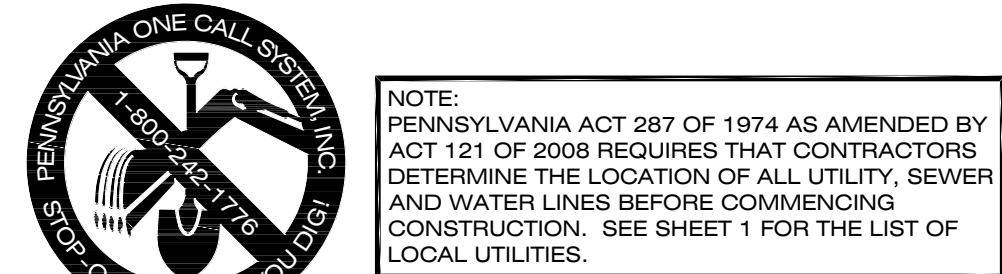
420 WEST MERMAID LANE - L-CP COMPENSATORY PLANT SCHEDULE							08.28.2023
PLANT SYMBOL	PLANT ID	QTY	BOTANICAL NAME	COMMON NAME	SCHEDULED SIZE	REMARKS	REPLACEMENT CALIPER INCHES
DECIDUOUS TREES							
	BN	1	Betula nigra 'Heritage'	River Birch	3"-3.5" Cal.	B&B, Large Canopy Tree	3
	CF	1	Cornus florida	Flowering Dogwood	3"-3.5" Cal.	B&B, Large Canopy Tree	3
	MV	1	Magnolia virginia	Sweetbay Magnolia	8'/10' H	B&B, Evergreen Tree	2.5
	PO	2	Platanus occidentalis	American Sycamore	7"-7.5" Cal.	B&B, Large Canopy Tree	14
	QB	1	Quercus bicolor	Swamp White Oak	3"-3.5" Cal.	B&B, Large Canopy Tree	3
	UA	2	Ulmus Americana 'Princeton'	Princeton Elm	3"-3.5" Cal.	B&B, Large Canopy Tree	6
	EVERGREEN TREES						
	CJ	3	Cryptomeria japonica 'Yoshino'	Japanese Cryptomeria	8'/10' H	B&B, Evergreen Tree	7.5
	GG	18	Thuja 'Green Giant'	Green Giant Arborvitae	8'/10' H	B&B, Evergreen Tree	45
	MG	1	Magnolia grandiflora	Southern Magnolia	8'/10' H	B&B, Evergreen Tree	2.5
Total Trees:		30				Total Replacement Inches:	86.5
Note: Plant Schedule and Proposed Compensatory Plant locations of Replacement Plan specified by Hess Landscape Architects							



The property lies within the
Wissahickon Creek Watershed.

LEGEND	
EXISTING FEATURES	
	PROPERTY BOUNDARY LINE
	CITY LINE
	CURB LINE
	EXISTING BUILDING
	WALL
	TREE TO REMAIN
	Caliper (DBH inches) TREE, species code (if required), Tree condition (if required), typ.

OWNER OF RECORD
420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See prepared for



REVISIONS			
01	07-25-2023	PER ZONING REVIEW COMMENTS	
02	08-28-2023	PER ZONING REVIEW COMMENTS	

420 W MERMAID LANE
Philadelphia, PA 19118
9th Ward - OPA #092140400

prepared for:
Dane & Meredith Jensen
420 W Mermaid Lane
Philadelphia, PA 19118
daneajensen@gmail.com
(717) 880-1323

DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

In accordance with the terms and provisions of Sections 14-603 (16) (b), 14-705 (1), and 14-803 (5) of the Philadelphia Code pertaining to

LANDSCAPE AND TREES

ON-SITE & PARKING LOT ☒ APPROVED ☐ DISAPPROVED ☐ WAIVED ☐ IN-LIEU FEE \$ _____

WIRELESS TOWERS ☐ APPROVED ☐ DISAPPROVED

Applied Electronically By: Ian Hegarty August 29, 2023 Ledger No.: **E-4768**
Philadelphia City Planning Commission

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3900 www.ruggieroplante.com

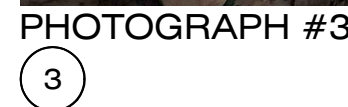
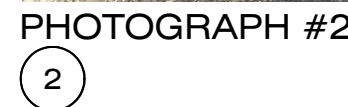
Plan Date: July 5, 2023

Scale: 1" = 20'-0"

Set Title: ZONING









Sheet Title: LANDSCAPE REPLACEMENT PLAN

Sheet 5 of 5



EXISTING FEATURES

- | | |
|--|---------------------------------|
| | TELECOMMUNICATION MANHOLE |
| | WATER MANHOLE |
| | ELECTRICAL MANHOLE |
| | SANITARY MANHOLE |
| | CITY INLET |
| | FIRE HYDRANT |
| | WATER VALVE |
| | UTILITY POLE |
| | SIGN |
| | LIGHT STANDARD |
| | DRILL HOLE |
| | SANITARY SEWER |
| | STORM SEWER |
| | UNDERGROUND WATER LINE |
| | UNDERGROUND GAS LINE |
| | UNDERGROUND ELECTRIC LINE |
| | OVERHEAD AERIAL LINE |
| | FENCE LINE |
| | EXISTING BUILDINGS |
| | ZONE BOUNDARY LINE |
| | BENCHMARK |
| | SLOPES > 25% |
| | SLOPES 15% - 25% |
| | IRON PIN FOUND |
| | MONUMENT FOUND |
| | POINT OF BEGINNING / LOT CORNER |
| | STREET TOPOGRAPH LOCATION |

- | | | |
|---|---|------------------------|
|  |  | FEATURE TO BE REMOVED |
|  | | PROPERTY BOUNDARY LINE |
|  | | CITY LINE |
|  | | CURB LINE |
|  | | WALL |
|  |  | TREE |

1. Boundary and Location information is based on a field survey performed by ASH Associates: 420 W Mermald surveyed on August 31, 2021.
7504 Saint Martins surveyed on May 17, 2022.
ASH Associates, Inc.
7565 Tennis Avenue
Arliner, PA 19002
215-367-5261
ashassociates.net
2. Tree Survey performed by Ruggiero Plante Land Design on March 27, 2023.
3. Boundary dimensions are identified in Philadelphia District Standard feet. Other stated dimensions are in U.S. standard feet. Boundary information shown is calculated from field surveyed boundary corner evidence, plans and Deeds of record.
4. The change from inches to the more precise decimal expression may result in minor changes in the second and third decimal places. These are not mistakes or oversights but more precise values.
5. 420 W Mermald Site Benchmark: Magnetic spike set in asphalt as shown.
Elevation: 311.65'
7504 Saint Martins Site Benchmark: Magnetic spike set in asphalt as shown.
Elevation: 293.14'
6. Right-of-way widths shown per City Plan No. 149, confirmed by the Board of Surveyors on 11-19-1962. Horizontal Datum based on the Pennsylvania State Plane Coordinate System, NAD83. Vertical Datum based on City Datum: Elevations shown per City Plan.
7. This plan was made as per instructions of the applicant and without the benefit of a title report.
8. FEMA FIRIM map #4207570087G map revised January 17, 2007 designates the area as Zone X, areas outside the 500 yr. floodplain and a portion shown hereon within Other Flood Areas (Zone X), areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot in within drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
9. Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources. Building dimensions are exterior and may include covered entrances and ornamental facades.
10. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction. There is no visible evidence of the site being used as a solid waste dump or landfill.
11. Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
12. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
13. This survey does not address the presence or absence of freshwater wetlands, environmental hazards or archaeological sites that may exist on property.
14. Reference Plans:
A. Compiled City Plan #148 dated 11-19-1962
B. Striking from City Plan No. 149 of Towanda Street from Mermald Lane to Moreland Avenue, Confirmed by Board of Surveyors March 16, 1970 (P-24-261).

1. See Landscape Preservation Plan and Landscape Replacement Plan for more information regarding existing site tree preservation and replacement.



The property lies within the Wissahickon Creek Watershed.

DATE CONTACTED: November 17, 2022
SERIAL NUMBER: 20223210624

COMPANY: COMCAST
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: ROBERT HARVEY
EMAIL: bob.harvey@cable.comcast.com

COMPANY: POCO ENERGY c/o USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19406
CONTACT: NAKKIA SIMPKINS
EMAIL: nikkiasimpkins@usicinc.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA , PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

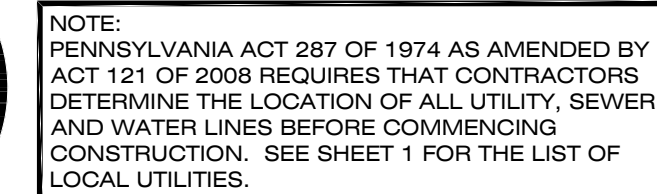
COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: PAT O'DONELL
EMAIL: maureen.wagarl@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA , PA 19122
CONTACT: MICHAEL PARZANESE
EMAIL: michael.parzanese@pgworks.com

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTVYDAS
EMAIL: dmontvydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 1050 VIRGINIA DR
FORT WASHINGTON PA, 19034
CONTACT: DEBORAH BARUM
EMAIL: laura.m.lippincotte@one.verizon.com

420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See 'prepared for'



REVISIONS				
01	07-25-2023	PER ZONING REVIEW COMMENTS		
02	08-28-2023	PER ZONING REVIEW COMMENTS		

prepared for:
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DAVID J. PLANTE, Professional Engineer



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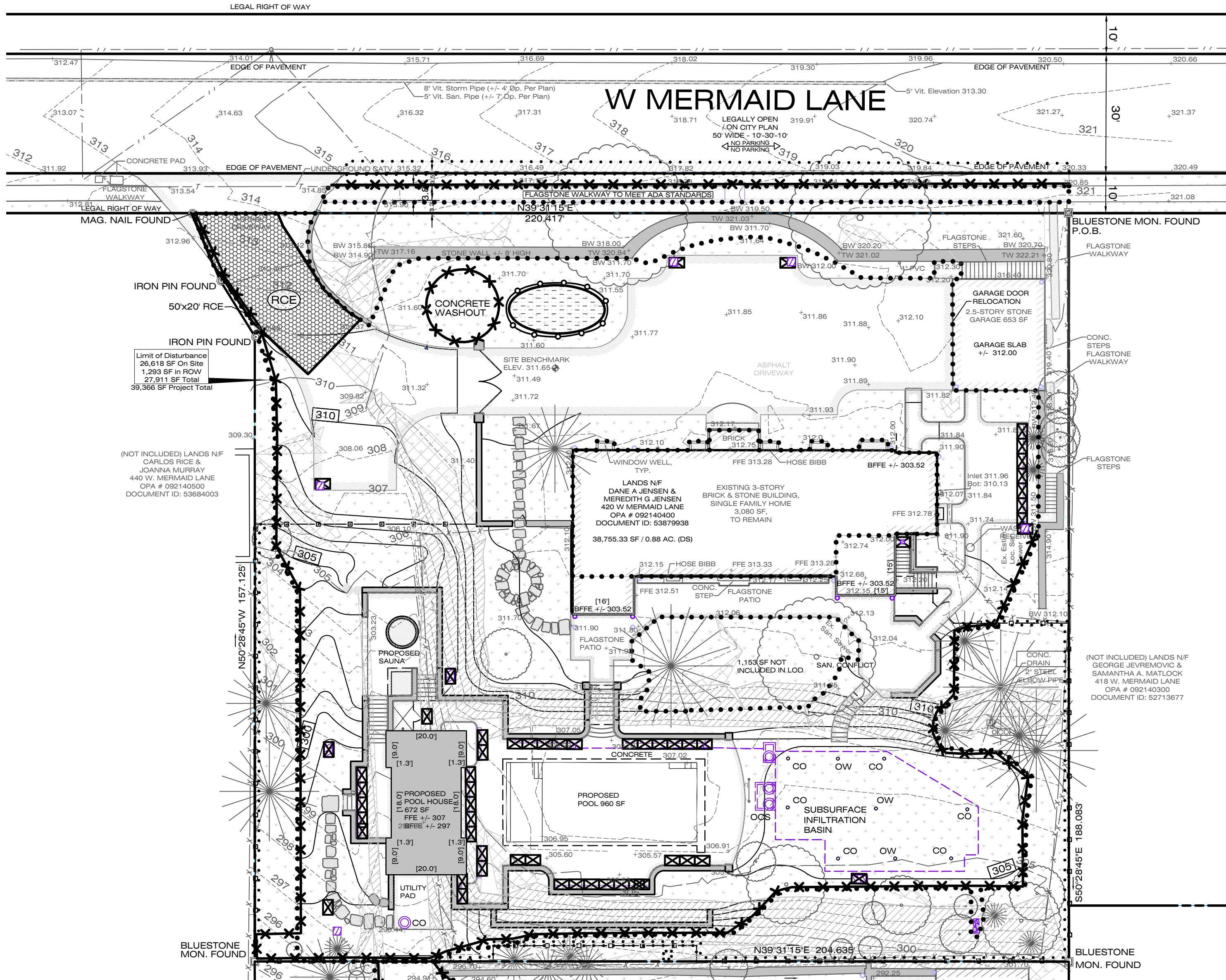
Plan Date: July 5, 2023

Scale: 1" = 20'-0"



A horizontal scale bar with a black background and white markings. It is divided into two 10-foot segments. The markings are labeled '0' at the center, '10'' at the left end, and '20'' at the right end.

Set Title:
ZONING
Sheet Title:
EXISTING FEATURES PLAN
Sheet 1 of 5



PWD STANDARD EROSION CONTROL NOTES

1. An Industrial Waste Permit will be required should pumping to City-owned infrastructure become necessary during construction. All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
2. Inlet protection should be provided for all inlets owned by PWD that are located within one block of the project site.
3. PWD is not responsible for any cleaning or repairs needed on City-owned infrastructure due to failure of any erosion and sediment control practices. (Owner will be responsible.)
4. Inspection and maintenance of all erosion and sediment control best management practices shall occur on a weekly basis, before any anticipated precipitation events, and after all precipitation events.
5. The maximum height for stockpiles areas shall be 20 feet. The maximum side slope for stockpile areas shall not exceed 2:1.
6. The rock construction entrance thickness shall be constantly maintained on-site. A stockpile shall be maintained on-site for the purpose. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
7. Fabric filter fence should be installed at level grade. Both ends of each fence section should be extended at least 8 feet upslope at 45 degrees to main barrier alignment. Support stakes shall be spaced at a maximum of 8 feet. Sediment must be removed when accumulations reach 1/2 the above ground height of the filter fence.
8. Any fence section which as been undermined or topped must be immediately replaced with a rock filter outlet. Sediment must be removed when accumulations reach 1/3 the height of each outlet.
9. Erosion control blanketing shall be installed on slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas specified on the plan maps and/or detail sheets.
10. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify PWD and PA DEP.
11. Until the site is stabilized, all E&S BMPs shall be maintained properly. Maintenance shall include inspections of all E&S BMPs prior to any anticipated storm event, after each runoff event and on a weekly basis. All preventive and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, re mulching, and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed, will be required.
12. All earth disturbances, including clearing and grubbing, as well as cuts and fills, shall be done in accordance with the approved E&S Plan. A copy of the approved drawings must be available at the project site at all times. PWD shall be notified of any changes to the approved plan prior to implementing of those changes. PWD may require a written submittal of those changes for review and approval at its discretion.
13. At least three (3) days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
14. All earth disturbance activities shall proceed in accordance with the sequence defined in the PA DEP prior to implementation.
15. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots, and other objectionable material.
16. Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing, and topsoil stripping may not commence in any stage of the project until the E&S BMPs specified by the BMP sequence for that stage have been installed and are functioning as described in this E&S Plan.
17. At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
18. A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and made available to PWD at the time of inspection.

19. All sediment removed from BMPs shall be disposed of in the following manner: move to stockpile area on site.
20. Areas which are to be topsoiled shall be scarified to a minimum depth of three to five inches - six to twelve inches on compacted soils - prior to placement of topsoil. Areas to be vegetated shall have a minimum four inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of two inches of topsoil.
21. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence, or other related problems. Fill intended to support buildings, structures, and conduits, etc., shall be compacted in accordance with local requirements or codes.
22. All earthen fills shall be placed in compacted layers not to exceed 9 inches in thickness.
23. Fill materials shall be free of frozen particles, brush, roots, sods, or other foreign or objectionable material that would interfere with or prevent construction of satisfactory fills.
24. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
25. Fill shall not be placed on saturated or frozen surfaces.
26. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for surface drain or other approved method.
27. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
28. Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within one year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within one year shall be stabilized in accordance with permanent stabilization specifications.
29. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
30. E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by PWD and PA DEP.
31. After final site stabilization has been achieved, temporary E&S BMPs must be removed or converted to permanent post-construction stormwater management practices. Areas disturbed during removal or conversion of the E&S BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
32. Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to plug the basin/trap outlet structures and/or pollute the surface waters. (when applicable)
33. During construction, the selected contractor is expected to follow the PCSPM approved by PWD. No change or deviation from the Approved PCSPM/P is permitted without prior approval from PWD.
34. All work associated with PWD water conveyance and sewer infrastructure shall be done in accordance with the City of Philadelphia Water Department "Water Main Standard Details and Corrosion Control Specifications", 1985 edition, and "Standard Details and Standard Specifications For Sewers", 1985 edition.
35. Contact PWD Water Transport Records (1101 Market Street, 2nd Floor, Phone: 215-685-6271) for additional approvals and permits required for all water services, meters, and connections to the existing and/or proposed PWD facilities.
36. All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the PA DEP's Solid Waste Management Regulations at 25 PA Code 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.

CONSTRUCTION SEQUENCE

PRIOR TO CONSTRUCTION COMMENCING CONTACT PWD AND PA DEP (484-250-5159) TO SCHEDULE A PRE-CONSTRUCTION MEETING. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

1. INSTALL ROCK CONSTRUCTION ENTRANCE. INSTALL SILT FENCE & INLET FILTERS IN ADJOINING STREETS. ERECT CONSTRUCTION FENCING AROUND UNDERGROUND INFILTRATION BASIN AND SIDEWALK AS SHOWN ON THE PLAN.
2. BEGIN DEMOLITION OF EXISTING FEATURES, PAVEMENT & UTILITIES.
3. ROUGH GRADE SITE. BEGIN EXCAVATION FOR BUILDING FOUNDATIONS AND RETAINING WALLS.
4. BEGIN INSTALLATION OF UNDERGROUND UTILITIES. INSTALL INLET FILTERS IMMEDIATELY UPON CONSTRUCTION OF EACH INLET.
NOTE: WHERE UTILITIES MUST BE INSTALLED UNDER AN EXISTING RCE, A TEMPORARY RCE SHALL BE CONSTRUCTED IN AN AREA OUTSIDE OF THE UTILITY INSTALLATION.
5. **CRITICAL STAGE 1:** PLEASE ENSURE A LICENSED PROFESSIONAL OR DESIGNEE IS PRESENT ON SITE. CONTRACTOR SHALL DOCUMENT ALL INFORMATION AND MEASUREMENTS REQUIRED IN THE SMP CONSTRUCTION CERTIFICATION FORM FOR THE SMP.
BEGIN CONSTRUCTION OF UNDERGROUND INFILTRATION BASIN, INSTALL STORAGE PIPING, AND PLACE STONE TO FINAL SUB-GRADE.
6. COMPLETE UNDERGROUND UTILITY INSTALLATION.
7. BEGIN CURB AND ENTRANCE CONSTRUCTION. INSTALL SOUND TUBES AND FOOTINGS FOR LIGHT FIXTURES AND FENCING.
8. PLACE STONE FOR DRIVEWAY & PARKING AREAS.
9. BEGIN DRIVEWAY/SIDEWALK INSTALLATION.
10. PLACE BITUMINOUS BINDER COURSE ON DRIVEWAY & PARKING AREAS.
11. INSTALL LIGHT FIXTURES, FENCING, ETC.
12. PLACE TOPSOIL AND INSTALL LANDSCAPING. INSTALL PERMANENT MULCH.
13. PERFORM FINAL SITE CLEANUP AND REMOVE ANY REMAINING EROSION CONTROL FACILITIES.

PWD SEQUENCE OF CONSTRUCTION NOTES

1. At least seven (7) days prior to any earth disturbance, the Inspections Coordinator of PWD (Office: 215-685-6387) must be called to schedule a preconstruction meeting. (PWD Table E-6 Note 1)
2. At least three (3) days prior to the Permeable Pavers & Green Roof, the Inspections Coordinator of PWD (Office: 215-685-6387) must be called to schedule an inspection for the aforementioned SMPs. (PWD Table E-6 Note 2)
3. All stone that makes up the Permeable Paver storage area must remain free of sediment. If sediment enters the stone, the contractor may be required to remove the sediment and replace it with clean-washed stone. (PWD Table E-6 Note 3)
4. Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact Inspections Coordinator of PWD (Office: 215-685-6387) for a final inspection prior to removal/conversion of the E&S BMPs. (PWD Table E-6 Note 4)
5. As soon as slopes, channels, ditches, and other disturbed areas reach final grade, they must be stabilized. Cession of activity for four (4) days or longer requires temporary stabilization. (PWD Table E-6 Note 5)
6. The NPDES notice of Termination (NOT) must be submitted to PADEP upon completion of construction. (PWD Table E-6 Note 6)
7. Water pumped from work areas should be treated for sediment removal prior to discharging to a 'surface water'. (PWD Table E-6 Note 7)

MANAGEMENT OF FILL

Fill material will be reused on-site. Applicant will perform environmental due diligence to determine the condition of the fill material as per PA DEP Bureau of Land Recycling and Waste Management.

Clean Fill - Uncontaminated, Non-Water-Soluble, Non-Decomposable inert solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and recognizable as such. (25 pa code section 287.1, 271.1) The term does not include materials placed in or on the water of the commonwealth unless otherwise authorized.

Environmental Due Diligence - Investigative techniques including, but not limited to, visual property inspections, electronic data base searches, review of ownership and use history of property, sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments and audits.

MAINTENANCE AND OPERATION

1. Measures shall be taken to ensure that all stormwater runoff from unstabilized areas on-site will not enter the infiltration systems during the construction process.
2. The owner shall be responsible for long-term operation & maintenance activities for all of the stormwater BMPs.
3. Consult the Operation & Maintenance Manual prepared for this project for all of the short-term and long-term maintenance requirements for the underground systems.

NOTES

1. Boundary and Location information is based on a field survey performed by ASH Associates: 420 W Mermaid surveyed on August 31, 2021. 7504 Saint Martins surveyed on May 17, 2022. ASH Associates, Inc. 765 Tennis Avenue Ambler, PA 19002 215-367-5251 ashassociates.net
2. Tree Survey performed by Ruggiero Plante Land Design on March 27, 2023.
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6. Right-of-way widths shown per City Plan No. 149, confirmed by the Board of Surveyors on 11-19-1962. Horizontal Datum based on the Pennsylvania State Plane Coordinate System, NAD83. Vertical Datum based on City Datum. Elevations shown per City Plan.
7. This plan was made as per instructions of the applicant and without the benefit of a title report.
8. FEMA FIRM map #4207570087G map revised January 17, 2007 designates the site as Zone X1, areas outside the 500 yr. floodplain and a portion shown hereon within Other Flood Areas (Zone X1), areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot in within drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
9. Some off site improvements such as buildings, curbing, and parking have been taken from aerial photographs, other plans and from public GIS sources. Building dimensions are exterior and may include covered entrances and ornamental facades.
10. Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction. There is no visible evidence of the site being used as a solid waste dump or landfill.
11. Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
12. A zoning permit is required for any proposed changes to lot lines, including consolidation of existing parcels.
13. This survey does not address the presence or absence of freshwater wetlands, environmental hazards or archaeological sites that may exist on site.
14. Reference Plans:
A. Compiled City Plan #149 dated 11-19-1962
B. Striking from City Plan No. 149 of Towanda Street from Mermaid Lane to Moreland Avenue, Confirmed by Board of Surveyors March 16, 1970 (P-24-261).

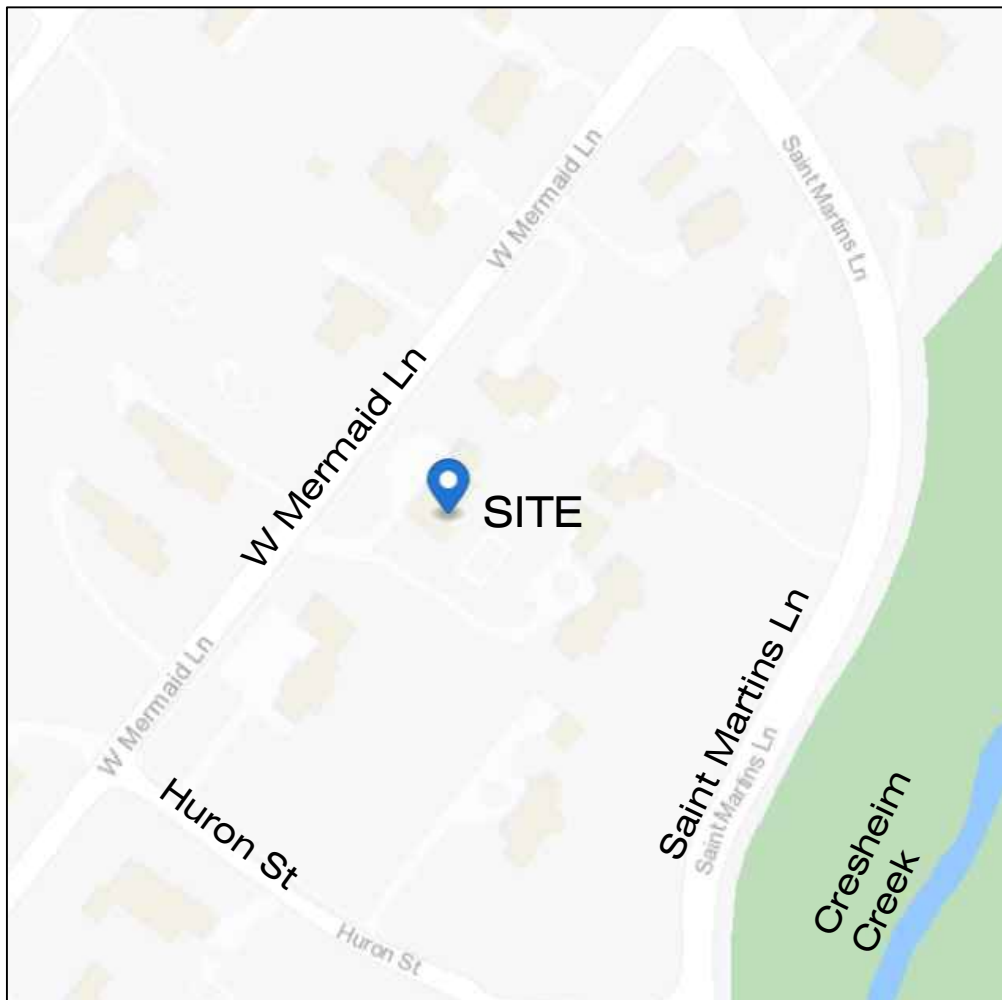
LEGEND

EXISTING FEATURES

- TELECOMMUNICATION MANHOLE
- WATER MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- CITY INLET
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- SIGN
- LIGHT STANDARD
- DRILL HOLE
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD AERIAL LINE
- FENCE LINE
- EXISTING BUILDINGS
- ZONING BOUNDARY LINE
- BENCHMARK
- SLOPES > 25%
- SLOPES 15% - 25%
- IRON PIN FOUND
- MONUMENT FOUND
- POINT OF BEGINNING / LOT CORNER
- MAJOR CONTOUR
- MINOR CONTOUR
- SPOT ELEVATION
- TREE
- WALL

PROPOSED FEATURES

- DECORATIVE METAL FENCE
- PROJECT SITE / LIMIT OF DISTURBANCE
- STEEP SLOPES LIMIT OF DISTURBANCE
- RETAINING WALL; WITHIN LOD
- GROUND-LEVEL BUILDING FOOTPRINT
- IMPERVIOUS AREA
- LAWN
- TEMP. CONSTRUCTION FENCE / TREE PROT.
- SILT SOXX
- SILT SAFETY FENCING
- INLET FILTER
- ROCK CONSTRUCTION ENTRANCE
- TOPSOIL / SPOILS STOCKPILE
- SOIL STOCKPILE



LOCATION MAP

The property lies within the Wissahickon Creek Watershed.

UTILITY OWNERS

DATE CONTACTED: November 17, 2022
SERIAL NUMBER: 20223210624

COMPANY: COMCAST
ADDRESS: 4400 WAYNE AVE
PHILADELPHIA, PA 19140
CONTACT: ROBERT HARVEY
EMAIL: bob.harvey@cable.comcast.com

COMPANY: POCO ENERGY c/o USIC
ADDRESS: 450 S HENDERSON RD, SUITE B
KING OF PRUSSIA, PA 19406
CONTACT: NAKKIA SIMPKINS
EMAIL: nikiasimpkins@usic.com

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET, 2ND FLOOR, ARA TOWER
PHILADELPHIA, PA 19107
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov

COMPANY: PHILADELPHIA CITY DEPARTMENT OF STREETS
ADDRESS: 1401 JFK BLVD, ROOM 940 MSB
PHILADELPHIA, PA 19102
CONTACT: PAT O'DONELL
EMAIL: maureen.wagner@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: MICHAEL PARZANESE
EMAIL: michael.parzanese@pgworks.com

COMPANY: SOUTHEASTERN PA TRANSPORTATION AUTHORITY
ADDRESS: 1234 MARKET ST, 12TH FL
PHILADELPHIA, PA 19107
CONTACT: DAVID MONTYDAS
EMAIL: dmontydas@septa.org

COMPANY: VERIZON PENNSYLVANIA, LLC
ADDRESS: 1050 VIRGINIA DR
FORT WASHINGTON PA, 19034
CONTACT: DEBORAH SARUM
EMAIL: laura.m.lippincotte@one.verizon.com

OWNER OF RECORD

420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See prepared for



NOTE: PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 121 OF 2008 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWER AND WATER LINES BEFORE COMMENCING CONSTRUCTION. SEE SHEET 1 FOR THE LIST OF LOCAL UTILITIES.

REVISIONS			
01	07-25-2023	PER ZONING REVIEW COMMENTS	
02	08-28-2023	PER ZONING REVIEW COMMENTS	

420 W MERMAID LANE
Philadelphia, PA 19118
9th Ward - OPA #092140400

prepared for:
Dane & Meredith Jensen
420 W Mermaid Lane
Philadelphia, PA 19118
daneajensen@gmail.com
(717) 880-1323

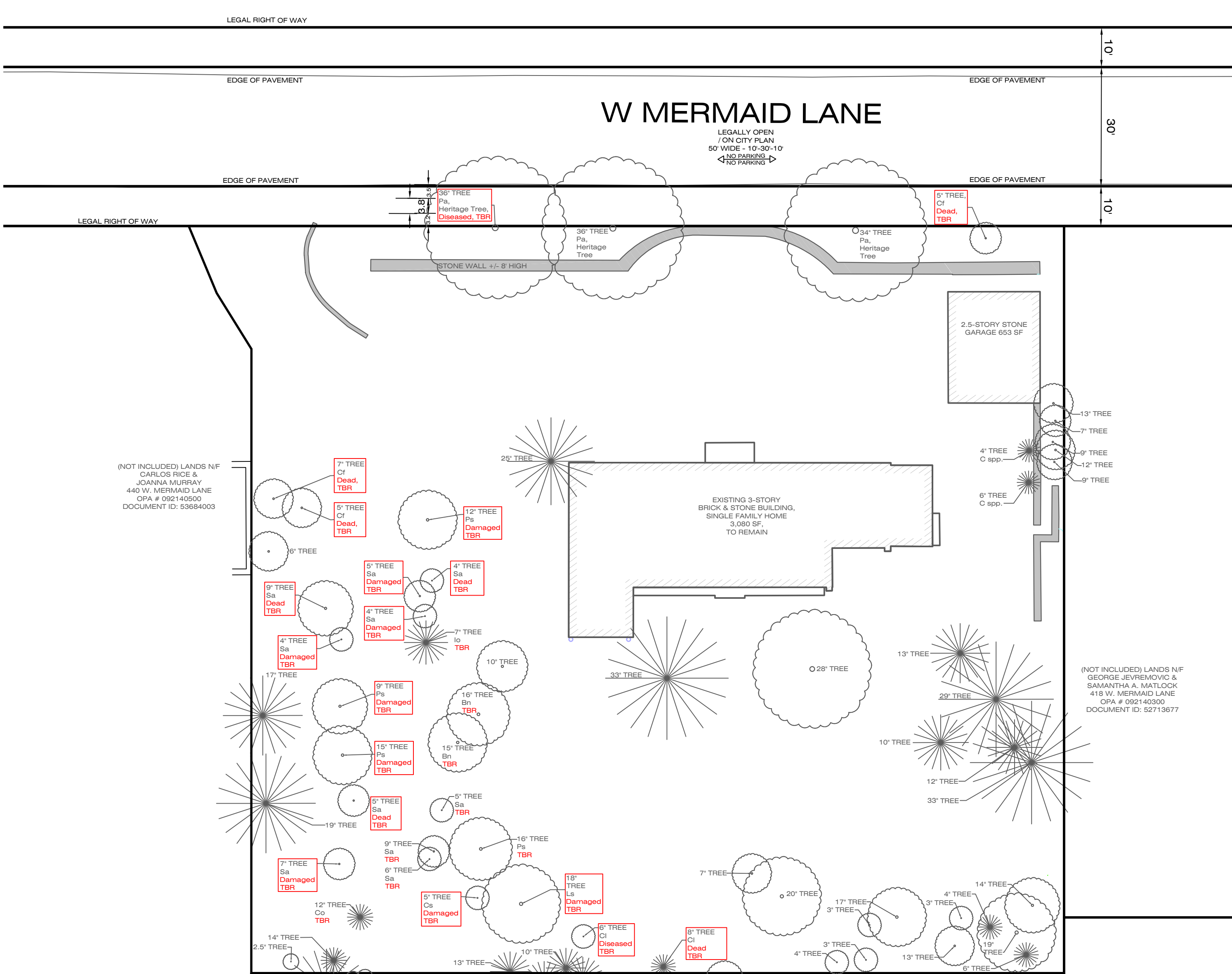
DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E

Ruggiero Plante Land Design
5900 Ridge Avenue Philadelphia, PA 19128
phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com

Plan Date:
July 5, 2023

Scale: 1" = 20'-0"
20' 10' 0' 20'

Set Title:
ZONING
Sheet Title:
EARTH MOVING PLAN
Sheet 3 of 5



TREE REMOVAL AND REPLACEMENT CALCULATIONS
Per 14-705 of the Phila. Code

Trees Exempt from Replacement Requirements per 14-705(1)(g)(2)(a)-(c):

Code	Caliper (inches)	Scientific Name	Common Name	Code Met
Cf	5	<i>Cornus florida</i>	Flowering Dogwood	(a) Dead
Cf	5	<i>Cornus florida</i>	Flowering Dogwood	(a) Dead
Cf	7	<i>Cornus florida</i>	Flowering Dogwood	(a) Dead
Cl	6	<i>Cupressus x leylandii</i>	Leyland Cypress	(a) Diseased
Cl	8	<i>Cupressus x leylandii</i>	Leyland Cypress	(a) Dead
Cr	5	<i>Crataegus</i> sp.	Hawthorn	(a) Damaged
Ls	18	<i>Liquidambar styraciflua</i>	Sweet Gum	(a) Damaged
Po	36	<i>Platanus x acerifolia</i>	London Plane Tree	(a) Diseased and danger to property
Ps	9	<i>Prunus serotina</i>	Black Cherry	(a) Damaged
Ps	12	<i>Prunus serotina</i>	Black Cherry	(a) Damaged
Ps	15	<i>Prunus serotina</i>	Black Cherry	(a) Damaged
Sa	4	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	4	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	4	<i>Sassafras albidum</i>	Sassafras	(a) Dead
Sa	5	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	5	<i>Sassafras albidum</i>	Sassafras	(a) Dead
Sa	7	<i>Sassafras albidum</i>	Sassafras	(a) Damaged
Sa	9	<i>Sassafras albidum</i>	Sassafras	(a) Dead
164" total				

Healthy Trees to be Removed and Replacement Required per 14-705(1)(g)(1):

Code	Caliper (inches)	Scientific Name	Common Name
Co	12	<i>Chamaecyparis obtusa</i>	Hinoki Cypress
Ps	16	<i>Prunus</i> sp.	Flowering Cherry Tree
Bn	15	<i>Betula nigra</i>	River Birch
Bn	16	<i>Betula nigra</i>	River Birch
Io	7	<i>Ilex opaca</i>	American Holly
Sa	5	<i>Sassafras albidum</i>	Sassafras
Sa	9	<i>Sassafras albidum</i>	Sassafras
Sa	6	<i>Sassafras albidum</i>	Sassafras
86" total			

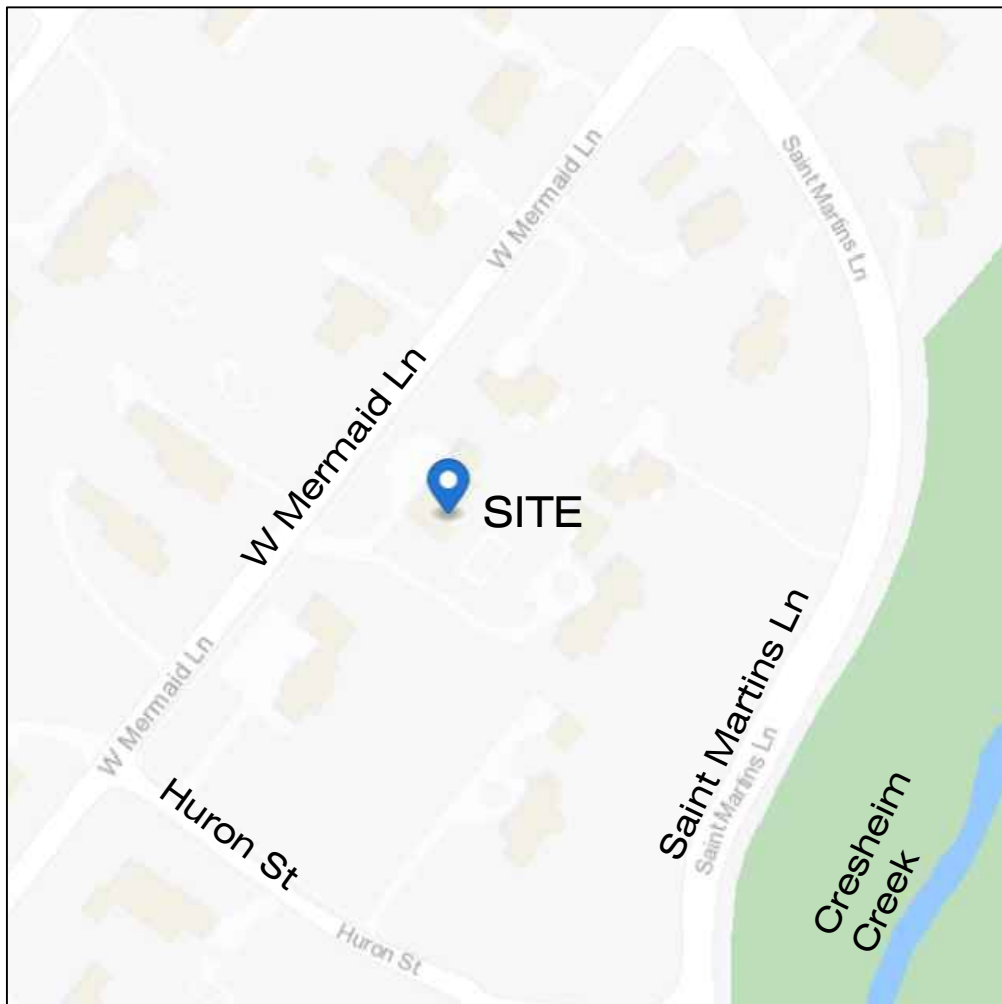
Existing Heritage Trees per 14-705(1)(f):

Code	Caliper (inches)	Scientific Name	Common Name	Notes
Po	34	<i>Platanus x acerifolia</i>	London Plane Tree	Along Mermaid Ln.
Po	36	<i>Platanus x acerifolia</i>	London Plane Tree	Along Mermaid Ln.
Po	36	<i>Platanus x acerifolia</i>	London Plane Tree	Along Mermaid Ln., (a.) Diseased and danger to property

Replacement Requirement per 14-705(1)(g):

TOTAL EXISTING EXEMPT TREE CALIPER INCHES ON SITE TO BE REMOVED = 164"
TOTAL EXISTING HEALTHY TREE CALIPER INCHES ON SITE TO BE REMOVED = 86"
TOTAL EXISTING TREES REQUIRED TO BE REPLACED = 86"

NOTES: 1. See Sheet 2 for Gross Floor Area Calculations
2. See corresponding Arborist Report by John B. Ward & Co. Arborists
3. See Sheet 5 for Landscape Replacement Plan

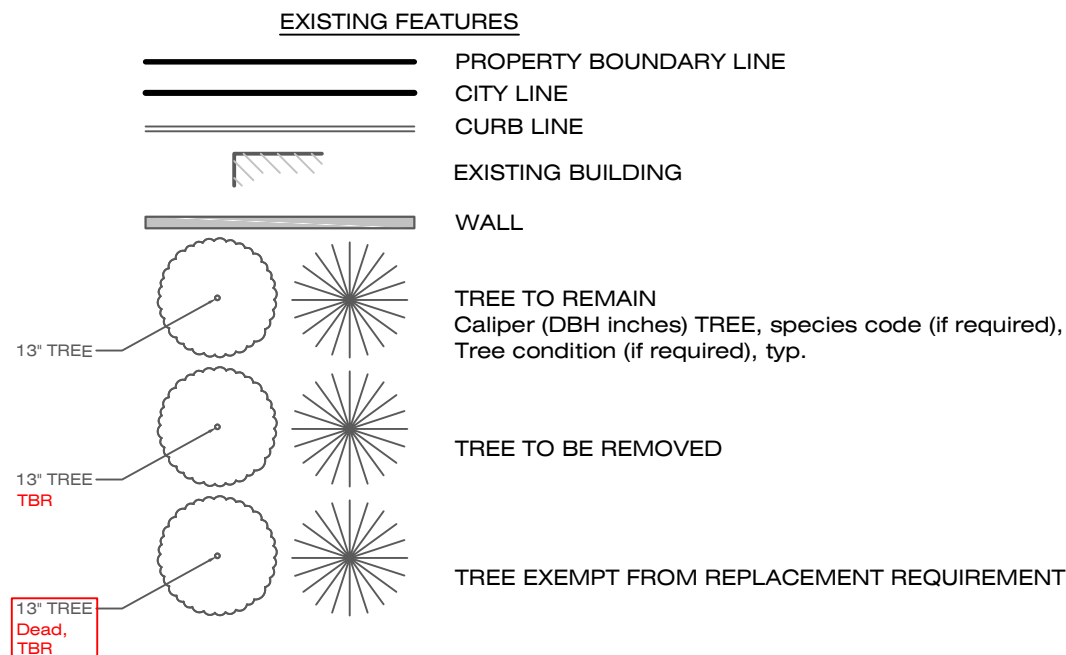


LOCATION MAP

N.T.S.

The property lies within the
Wissahickon Creek Watershed.

LEGEND



OWNER OF RECORD

420 W MERMAID LANE
DANE A JENSEN
MEREDITH G JENSEN
420 Mermaid Ln
Philadelphia, PA 19118-4204
See prepared for

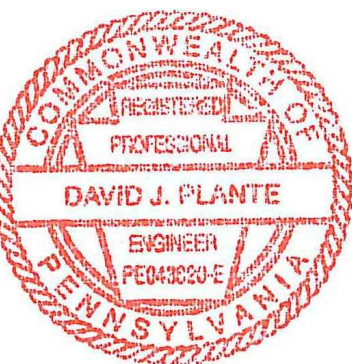


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Philadelphia, PA 19118
9th Ward - OPA #092140400

prepared for:
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DAVID J. PLANTE, Professional Engineer PA. No. PE-043820-E



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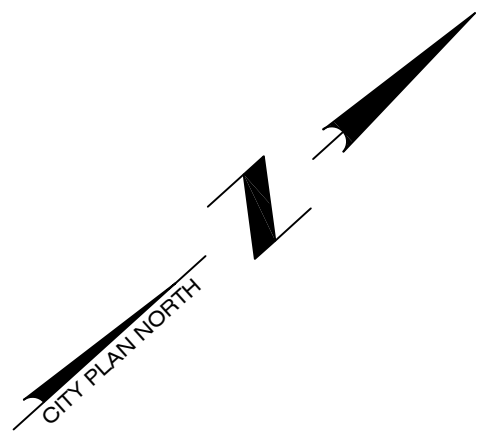
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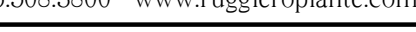
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Set Title: ZONING

Sheet Title: LANDSCAPE PRESERVATION PLAN

Sheet 4 of 5



	Ruggiero Plante Land Design 5900 Ridge Avenue Philadelphia, PA 19128 phone 215.508.3900 fax 215.508.3800 www.ruggieroplante.com
	Plan Date: Scale: 1" = 20'-0" July 5, 2023 
Set Title: ZONING Sheet Title: LANDSCAPE REPLACEMENT PLAN Sheet 5 of 5	